

Staff Report

Devens
Enterprise
Commission

Date: March 20, 2020

To: **Devens Enterprise Commission**

From: Peter Lowitt, FAICP, Director; Neil Angus AICP CEP, Environmental Planner

RE: **Level 2 Unified Permit – BMS Cell Therapy Facility (Phase 3) – Unified Permit–Review**

Owner/App.: Bristol-Myers Squibb, Adam Gary, Project Engineer

Engineer: Curt Quitzau, PE, VHB

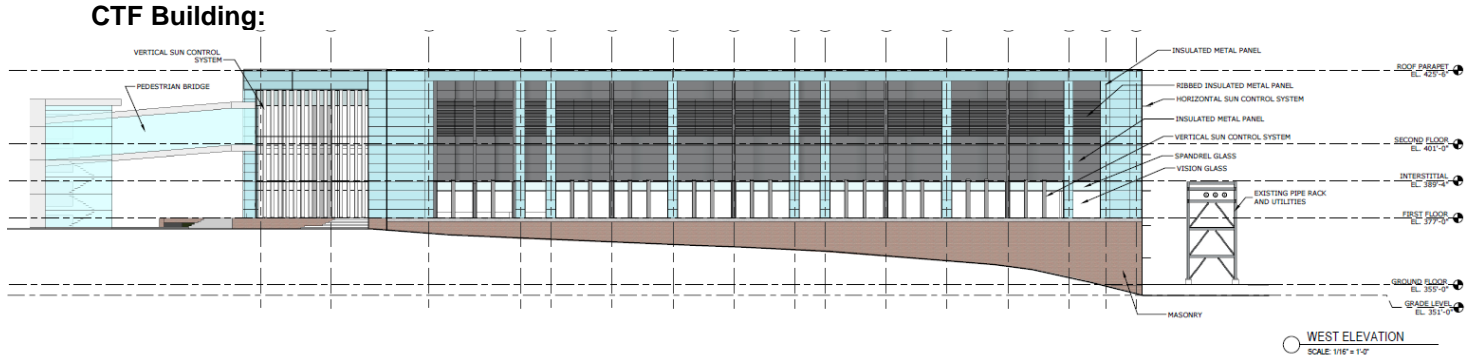
Location: 38 Jackson Road, (Parcel ID#: 9-4-200)

Zoning: Innovation & Technology Business District & Watershed Water Resources Protection Overlay District; Viewshed Overlay District.

Premises and Proposed Project: Bristol-Myers Squibb Company (BMS, the “Applicant”) is proposing the construction of a +/- 80,000 square foot (240,000 square gross sf), three-story new building to accommodate their new Cell Therapy Facility (CTF). The CTF will accept and process patient’s blood for certain cancer treatments. The facility will consist of office, specialized processing suites, quality assurance/quality control facilities, packaging and storage space. In order to accommodate this building and CTF process, the project is also proposing a 32,310 sf (44,850 gross sf) expansion to the existing central warehouse building, a 600-space, (3-5 story) parking garage and new cooling tower:

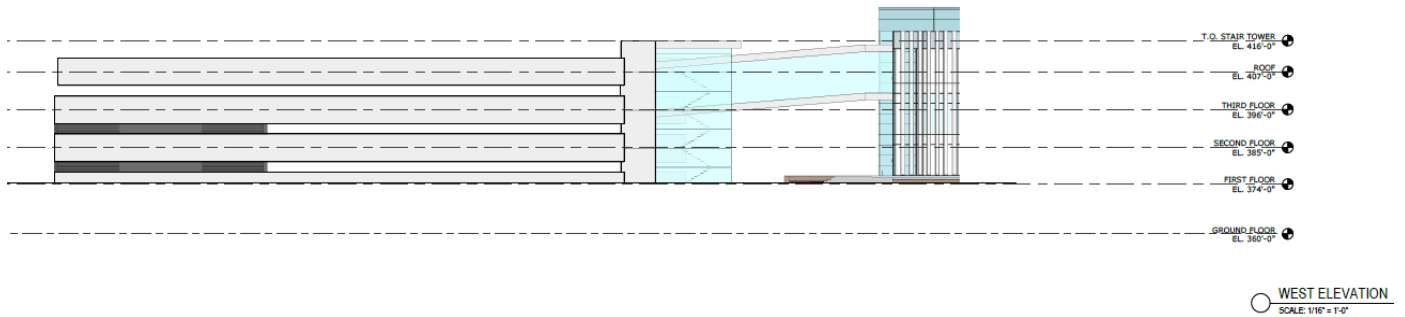


The CTF is expected to employ an additional 800 people, therefore the project also includes access changes to the configuration of the Queenstown gate entrance to accommodate the increase in employee traffic. The project includes associated utility, grading, drainage, and lighting improvements. Drainage from the addition is proposed to be managed by the existing on-site stormwater management system which was designed to accommodate runoff from this addition (part of the overall campus master plan). Existing utilities on-site will be expanded to service the proposed addition.



Site Issues at a Glance:

Parking: The project includes 600 spaces proposed on 3 levels (~200 spaces per level) of a proposed above-ground parking structure. While there are 800 new employees, they will be coming in shifts so BMS feels the 600 spaces are more than sufficient. The proposal indicates up to 2 additional levels (~1000 spaces total) could be added to the garage if needed. These additional levels would be sufficient to show future reserve parking if it is needed but it appears if the parking garage goes up to 5 stories, it would be at or near elevation 429 which is higher than the proposed CTF and would need to be included in the viewshed analysis. Therefore, BMS is requesting approval for 3 stories at this time. A new unified permit would be required for any expansion beyond the three stories. Design details for the parking garage can be provided at the building permit stage however the Applicant should identify the number of ADA accessible spaces, carpool spaces, electric and fuel efficient vehicle spaces proposed based on the proposed number of spaces.

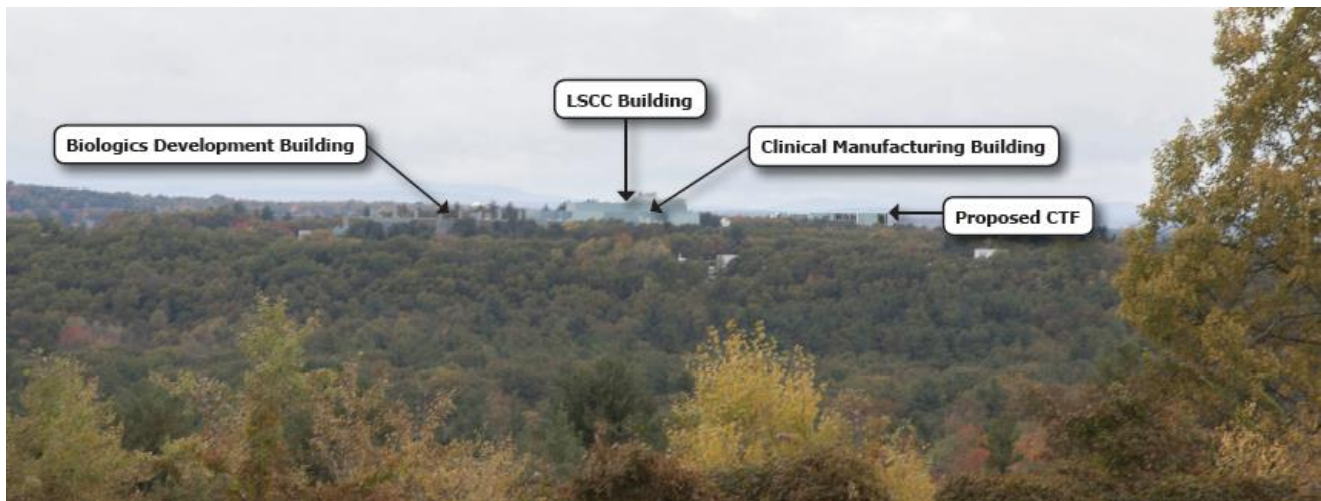
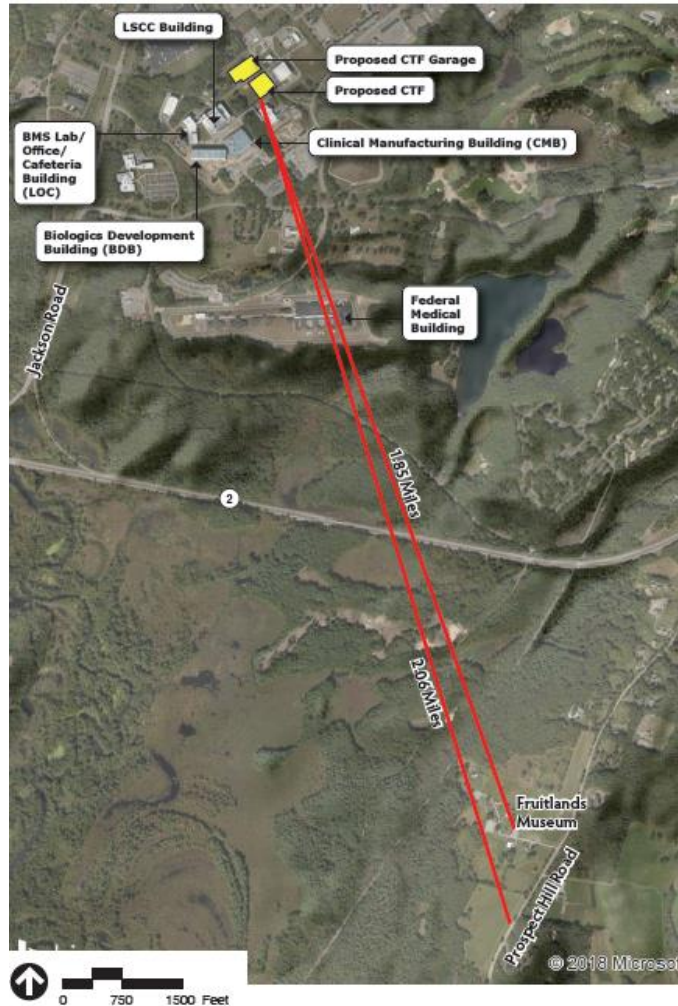


Traffic: Due to the size of this project and the number of new employees, the Applicant was required to undertake a traffic impact analysis. This analysis looked at Jackson, Patton and Queenstown Roads as all the new traffic would be directed to enter and exit the site from BMS’s Queenstown gate. The traffic study indicates that the existing roadways have sufficient capacity to accommodate the increase in traffic as the increase will occur in shifts and not all at once. Devens Engineering has concerns about the Patton/Queenstown intersection as this is part of the Devens truck route and introducing a significant number of new vehicles turning in and out of Queenstown could impact truck flows. Additional information has been requested to address this. In addition, the shift changes will occur during similar times when BMS and a number of other businesses in Devens also change shifts. This needs to be considered. There is also a question on whether or not this proposed increase in traffic would warrant any signal changes at Jackson/Patton intersection.

Viewshed: This site is within the Viewshed District. During the approval of the first phase and Master Plan for BMS’s campus, a Maximum Building Height variance of 120 feet was issued by the MA Legislature: Chapter 173 Section 7(b) of the Acts of 2006. The proposed CTF is 70.5 feet in height and the proposed garage is 67 feet (3 stories) – well under the height variance limit. The viewshed analysis shows that the proposed CTF will be slightly visible from the viewshed (Prospect Hill). The building will be following the same color scheme as the existing buildings (green) to blend in and all building glass, finishings and rooftop mechanicals will be non-reflective. Any roof top mechanicals that are not able to be non-reflective will need to be shielded with a non-reflective barrier that matches the color of the building. The parking garage is slightly lower and will not be visible due to the existing treeline and the proposed CTF building screening. As previously mentioned, any increase in the number of stories would require separate review and approval.

Chapter 173 Section 7(b) of the Acts of 2006 (height variance) provides an opportunity for the Town of Harvard to provide input into the proposed building to ensure it blends in as much as possible. MassDevelopment has notified the Town of Harvard of the proposed project, specifically the building height, design and proposed colors. As of the writing of this report, we have received no comments.

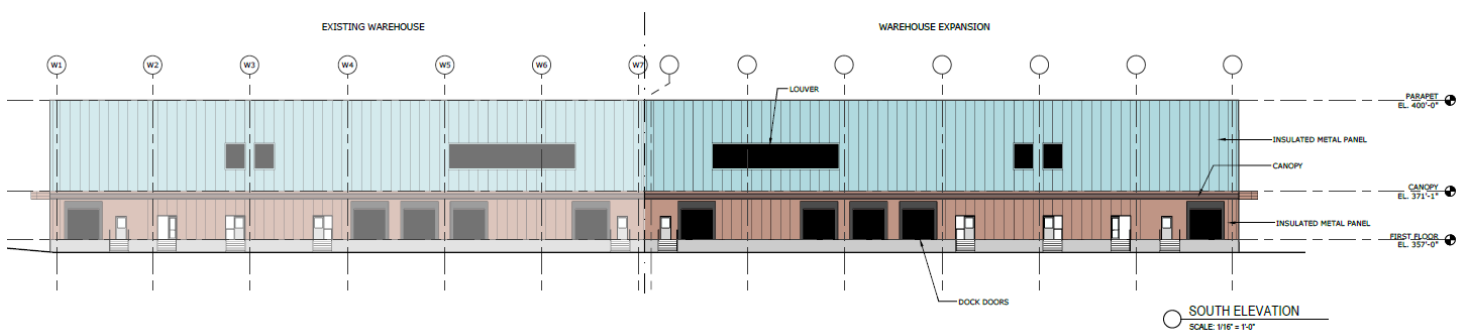
MassDevelopment has issued a design review approval based on the fact that the colors will match the existing buildings and all finishes, trim, etc... will be non-reflective. Any rooftop lighting will need to be low and shielded to reduce visibility from the viewshed and prevent any glare/glow.



Because these buildings are in the viewshed and are visible, DEC regulations require the portion of the building that is visible to have a green wall. The regulations also require the building to have a green roof. The Applicant has yet to show either. The green roof requirement is also triggered by the amount of additional traffic this project will generate.

Stormwater: The existing stormwater management system for the site was designed to accommodate this future build-out. The DEC peer review consultants had a number of comments on the proposed drainage that are being reviewed by the Applicant. While the existing drainage system was designed to accommodate the volume of runoff from this added imperviousness, the Applicant will need to ensure the new drainage system meets all the pre-treatment requirements prior to discharging into the existing detention basin. This phase includes a new shared pedestrian/emergency access walkway that will consist of pervious pavers that will provide some on-site infiltration that will contribute towards the DEC greenfield requirement. The proposal includes irrigation for some of the new landscaping and DEC regulations require rainwater harvesting to offset potable water use for irrigation. The Applicant should look at installing a cistern on-site to meet this requirement.

Warehouse expansion: The Applicant is proposing to double the size of the existing warehouse and add up to five (5) loading docks along the south side. No additional details on warehouse have been provided. Additional information will be submitted at the building permit stage and be reviewed by Staff. If the building permit plans and supporting information vary significantly from what is shown on this plan, a site plan modification may be required.



Cooling towers: The proposed plans show two (2) additional cooling towers proposed next to the existing cooling towers by the Central Utilities Building. These are anticipated to be needed for future phases and are not part of this application. A separate permit will be needed for these cooling towers as they will require a sound study to ensure compliance with the DEC Industrial Performance Standards.

Safety: The Devens Fire Department has reviewed the submitted plans and has no major concerns at this point.

Waiver Requests: .The Applicant has requested the following waivers as part of this application:

974 CMR 3.04 (6)(a)3f - Site Improvements --Lighting - to allow lights to be illuminated during night operations for staff safety. As under Phase 1 and Phase 2, the operation of the Project will be 7 days a week, 24 hours a day with a reduced staff on weekends.

Since this project is within the viewshed, it is important to reduce lighting intensities to the maximum extent practicable. The Applicant has included downward directed, recessed exterior lighting that complies with the DEC Rules and Regulations. There is are a couple of small areas where the footcandle levels are non-existent and supplemental lighting may need to be added. To further aid in reducing lighting levels within the viewshed, the Applicant should specify all LED lighting be no greater than 3000K (color temperature that is more efficient and softer/less glare) and consider motion-sensor lighting or other operational controls that reduce lighting levels when reduced staff are on site overnight and on weekends.

974 CMR 3.04 (6)(a)3b Site Improvements – Lighting - to allow a 1' reduction in the post height for pedestrian post top lighting proposed along pedestrian walkways on the Project Site. The reduction will allow for 14' posts, which are more appropriately scaled to pedestrian areas, and for consistency with the existing pedestrian lighting posts throughout the BMS campus.

Staff has no concerns with this waiver request.

974 CMR 3.04 (7)(d) Utilities to be placed underground. To allow use of an aboveground utility pipe rack to deliver certain utilities to the CTF, including soft water, compressed air, steam condensate, process wastewater, chilled water, and electrical power. The utility pipe rack will bridge from the existing pipe rack to the building on the south side. All other utilities such as domestic water, fire water, sewer, natural gas, and telecom/data will be routed underground.

This expansion proposes to connect to the existing pipe rack which is along an internal campus road and not impacting any existing vegetation or visible from the street. Staff has no concern with this waiver request.

Process: The application was submitted on February 14, 2020 and a Determination of Completeness was issued on February 21, 2020. Copies of the application were received by the surrounding Towns on February 27, 2020. Legal notices were placed in Nashoba Publications on March 6, and 13, 2020. All abutting property owners were duly notified by certified mail. The 30-day Town comment period expires on March 29, 2020. As of the writing of this report, no comments have been received. The 75-day review period for the DEC to act on this application ends on May 7, 2020.

Recommendation: The proposed expansion is consistent with the allowed uses within the Innovation and Technology Business District and, with conditions, will comply with the DEC Rules and Regulations. The 30-day Town comment period has not yet expired so once the Applicant has presented the project and all questions from the Commission and public have been heard, staff would recommend the Commission continue the hearing to the April 9, 2020 meeting to allow the Applicant sufficient time to address some the remaining issues. Staff will review any revised plans and additional supporting information and, if appropriate, prepare a draft Record of Decision for the Commission's consideration at the next meeting.

Attachments:

1. Site Plans

Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R5-1	30"	30"	DO NOT ENTER

TBM #AA
SPIKE SET 1 FOOT UP 16" PINE
ELEVATION=378.65'



NOTES

Approved by:

Devens Enterprise Commission



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

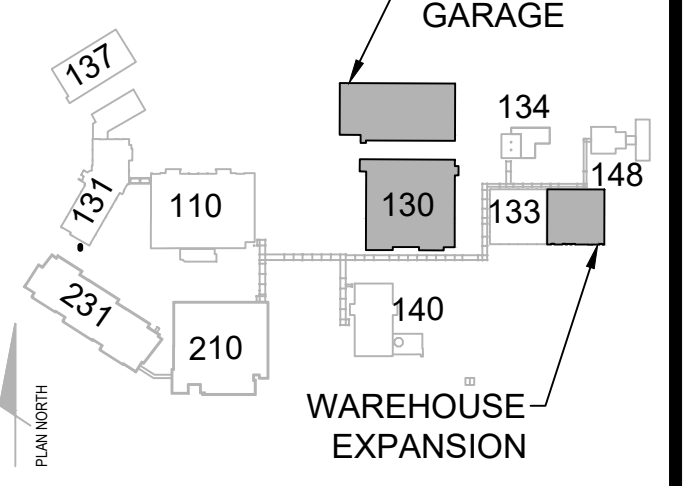
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Approved by

Drafter	ddmny
Project Manager	ddmny
System Owner	ddmny
Quality Assurance	ddmny

Key Plan



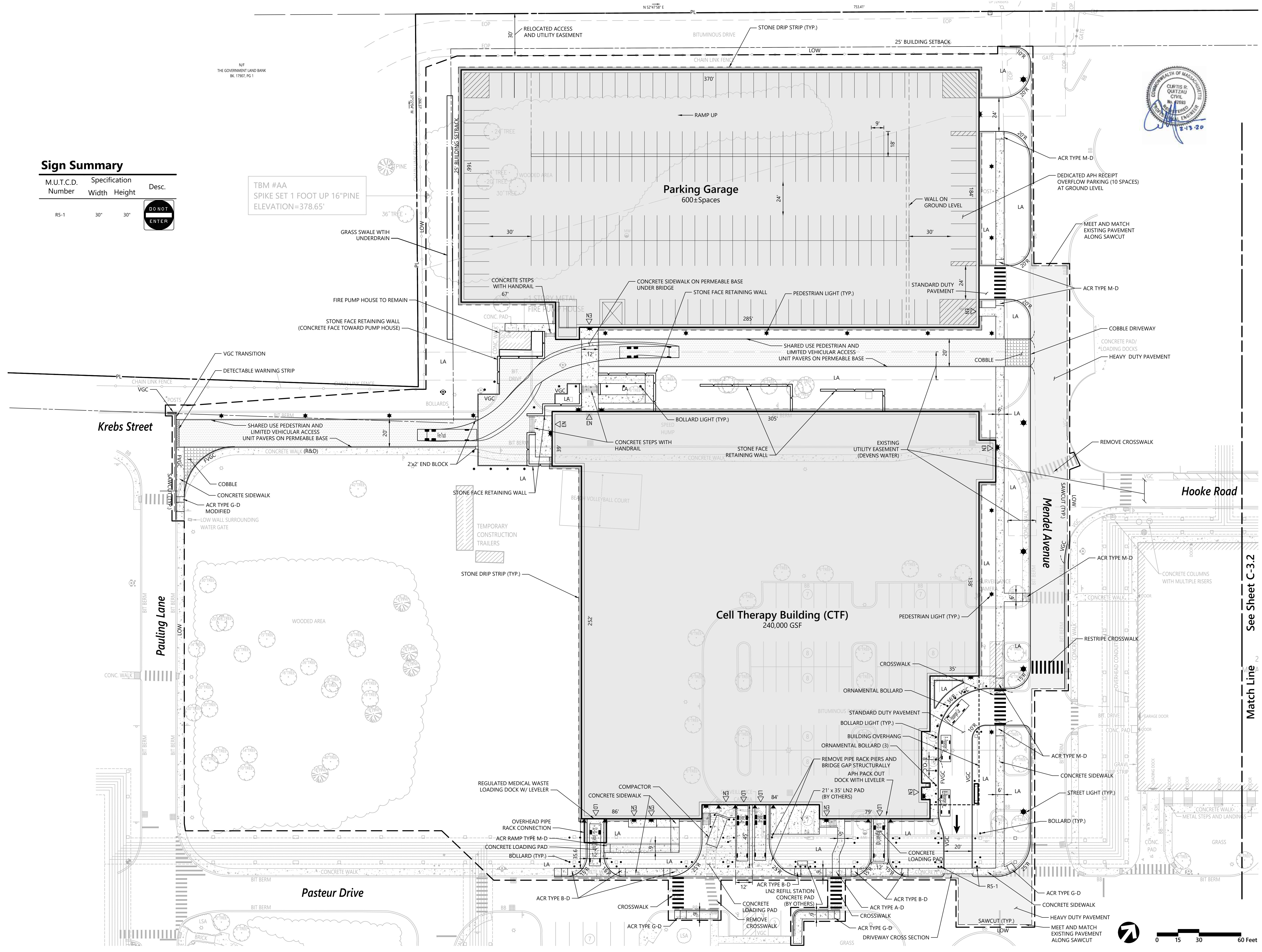
2/14/20 ISSUED FOR LEVEL 2 PERMIT

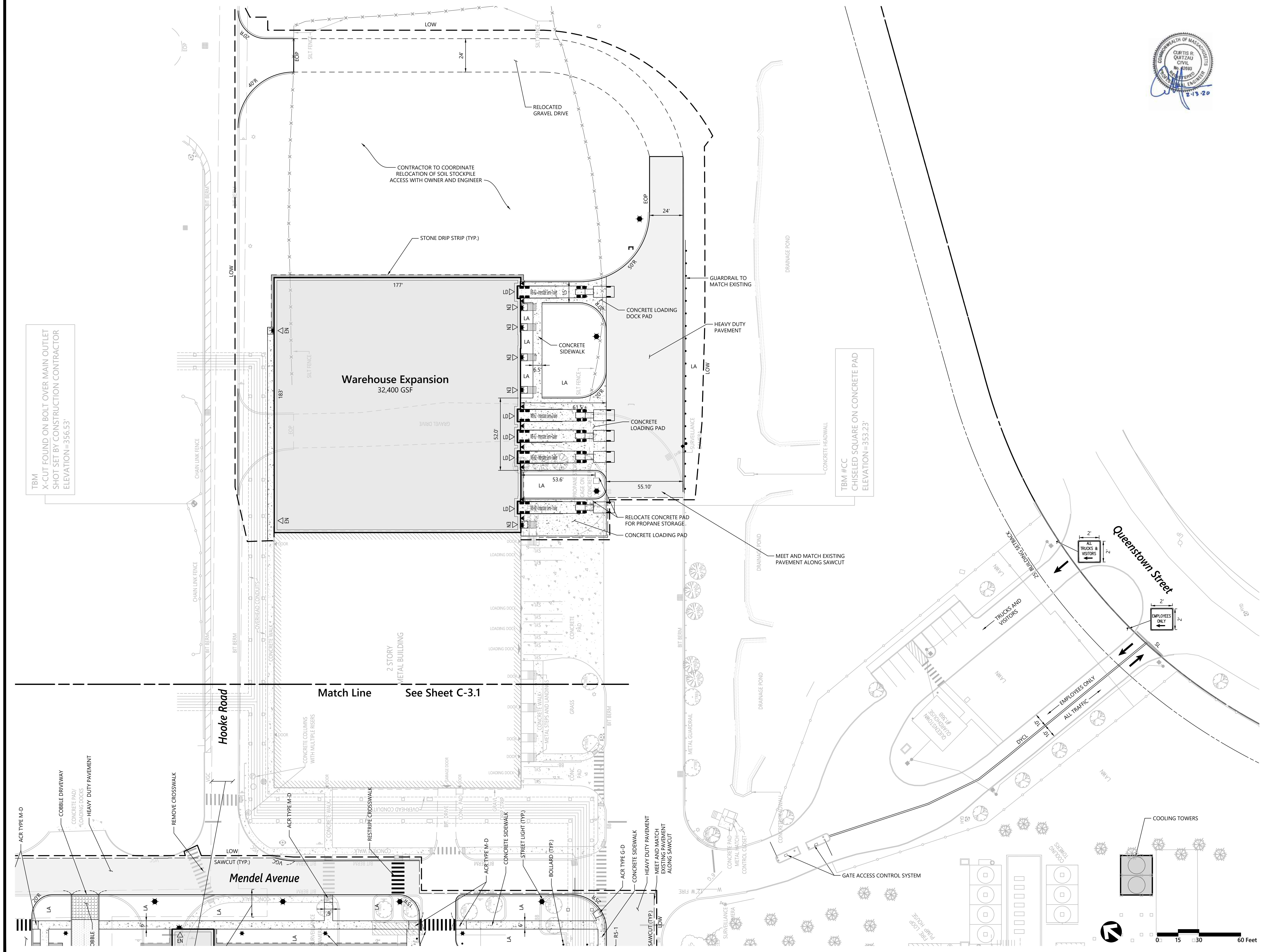


LAYOUT AND MATERIALS 1
CELL THERAPY FACILITY
BLDG 130

BMS CAMPUS, DEVENS, MA

CARRI	SHEET No.
DATE: 2/14/2020	DRAWING #
SCALE: SEE PLAN	C-3.1
PRJ MGR:	
DESIGNER:	
VENDOR NAME:	
AUTHOR:	
DISCIPLINE:	
SYSTEM:	
SYSTEM #:	
EQUIPMENT:	
CMO:	
REFERENCE:	





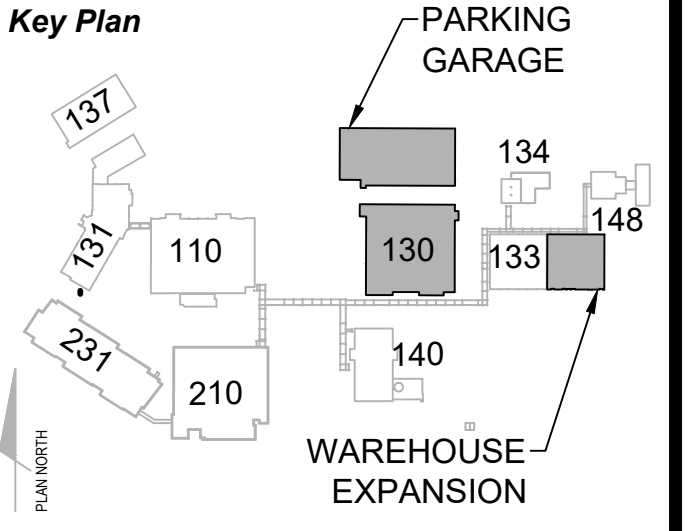
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 Devens Enterprise Commission



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Approved by _____
 Drafter: ddmmly
 Project Manager: ddmmly
 System Owner: ddmmly
 Quality Assurance: ddmmly



A 2/14/20 ISSUED FOR LEVEL 2 PERMIT



LAYOUT AND MATERIALS 2
 CELL THERAPY FACILITY
 BLDG 130

BMS CAMPUS, DEVENS, MA

CARI	SHEET
DATE: 2/14/2020	No.
SCALE: SEE PLAN	DRAWING #
PRJ MGR:	C-3.2
DESIGNER:	
VENDOR NAME:	
AUTHOR:	
DISCIPLINE:	
SYSTEM:	
SYSTEM #:	
EQUIPMENT:	
CMO:	

REFERENCE: